



**Project Location**



# Redeeming HOPE

1045 RICHMOND ROAD  
BEREA, KY 40403

**Construction Notes:**

- IF THIS ARCHITECT(S) SCOPE OF WORK INCLUDES PERIODIC CONSTRUCTION INSPECTION DUTIES; DIRECT ALL QUESTIONS AND CORRESPONDENCE TO THE ARCHITECT. ALL SHOP DRAWINGS AND RELATED DRAWINGS TO BE REVIEWED AND APPROVED BY GC PREVIOUS TO SENDING TO THE ARCHITECT.
- NO PROJECT ENVIRONMENTAL REPORT FOR ANY HAZARDOUS MATERIALS, INCLUDING RADON, SPILLED CHEMICALS, U.S.T.'S, ETC. WAS PROVIDED BY THE OWNER TO ARCHITECT. THEREFORE, THIS ARCHITECT ASSUMES NO LIABILITY SHOULD ANY CONDITION ARISE THAT COULD HAVE BEEN DISCOVERED OR PREVENTED HAD SUCH INVESTIGATIONS BEEN CONDUCTED.
- THE GENERAL CONTRACTOR, OWNER, SUBCONTRACTORS, SUB-SUBCONTRACTORS, CONSULTANTS, SUPPLIERS, FABRICATORS, ETC. AND ANY OTHER PERSONS SHALL NOT MAKE ANY MODIFICATIONS TO THE CONSTRUCTION DOCUMENTS WITHOUT THE PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL OF THE ABOVE AGREE TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FROM ALL CLAIMS, LOSSES AND EXPENSES INCLUDING ATTORNEY'S FEES AND DEFENSE COSTS ARISING OUT OF ANY UNAUTHORIZED REUSE OR MODIFICATIONS OF THE CONSTRUCTION DOCUMENTS BY THE CONTRACTORS, OWNER OR OTHER PERSONS.
- IF APPLICABLE, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ASSIGNING ALL RELATED WORK AREAS AS PER HIS COMPANY'S PROJECT BYOUT POLICIES SO AS TO PROVIDE A FINISHED, OPERATIONAL SITE AND BUILDING WITH COMPLETE AND FUNCTIONING SYSTEMS.
- THE MEANS AND METHODS OF CONSTRUCTION ARE LEFT OF THE GENERAL CONTRACTOR, HIS SUBCONTRACTORS AND VENDORS TO FURNISH AND INSTALL AS NECESSARY FOR A COMPLETED PROJECT, ANY QUESTIONS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- IN CASE OF A BID PROJECT - THE GENERAL CONTRACTOR SHALL FURNISH ALL MATERIALS & EQUIPMENT SHOWN ON THE DRAWINGS UNLESS OTHERWISE NOTED OR AGREED UPON AMONG OWNER AND CONTRACTORS. WRITTEN BIDS FROM SUBCONTRACTORS AND VENDORS SHOULD SPELL OUT ALL LABOR/WORK/MATERIALS OR ANY SPECIAL ARRANGEMENTS TO BE PROVIDED BY OWNER OR OTHERS.  
EXCEPTION: REFER TO LISTING OF ITEMS TO BE FURNISHED BY OWNER, AND ITEMS FURNISHED BY OWNER AND INSTALLED BY GC
- THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR EXAMINING PERSONALLY AND CONDUCTING ANY RESEARCH OR INVESTIGATIONS THEY DEEM NECESSARY FOR THE PLANNING AND EXECUTION OF THEIR WORK. THE SUBMISSION OF A WRITTEN BID OR PROPOSAL WILL BE CONSIDERED AS EVIDENCE THAT THE CONTRACTOR(S) HAVE FAMILIARIZED THEMSELVES WITH THE PLANS AND EXISTING CONDITIONS. CLAIMS MADE SUBSEQUENT TO THE PROPOSAL FOR THE MATERIALS AND/OR LABOR DUE TO DIFFICULTIES ENCOUNTERED WILL NOT BE RECOGNIZED, UNLESS THESE DIFFICULTIES COULD NOT HAVE BEEN FORESEEN EVEN THOUGH PROPER EXAMINATION HAD BEEN MADE.
- THE GENERAL CONTRACTOR AND OWNER AGREE THAT ANY UNFORESEEN CONDITION THAT IS DISCOVERED DURING THE BIDDING AND THE CONSTRUCTION PHASES WILL BE CALLED TO THE ATTENTION OF THE ARCHITECT/ENGINEER AND OWNER IMMEDIATELY FOR A SOLUTION BEFORE PROCEEDING WITH THE WORK.
- THE OWNER WILL BE RESPONSIBLE FOR PAYMENT OF THE LOCAL AND STATE BUILDING DEPARTMENT ARCHITECTURAL PLAN REVIEW FEES. THIS PAYMENT WILL BE MADE IN FULL BEFORE SUBMISSION FOR PLAN REVIEW.
- THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY BUILDING OR TRADE PERMITS, LICENSE, INSPECTIONS, ETC. AND CONTACTING THE ARCHITECT FOR ANY REQUIRED PLAN REVISIONS FOR CODE REQUIREMENTS, UNLESS OTHERWISE AGREED UPON IN WRITING WITH THE OWNER.
- BEFORE COMMENCING WORK ALL SUBCONTRACTORS AS NECESSARY BY THEIR SCOPE OF WORK, AND AS DIRECTED BY THE GENERAL CONTRACTOR, SHALL VERIFY THE LOCATION OF ALL ACTIVE UTILITIES, UNDERGROUND AND OVERHEAD, IN ORDER TO TAKE ALL PRECAUTIONS FOR THEIR PROTECTION AND PERSONAL SAFETY.
- ALL SUBTRADES ARE RESPONSIBLE FOR CLEANING UP ALL OF THEIR RELATED CONSTRUCTION DEBRIS DAILY AND REMOVING THEM FROM THE JOB SITE OR PUTTING THEM IN JOB DUMPSTER. EACH SUBTRADE WILL BE CHARGED FOR ANY RELATED EXPENSE TO DO THIS FOR THEM.
- ALL EQUIPMENT ROUGH-IN DIMENSIONS AND UTILITY REQUIREMENTS ARE NOT DETAILED ON THESE DRAWINGS. THIS INFORMATION WILL NEED TO BE VERIFIED BY GENERAL CONTRACTOR AND RELATED SUBTRADES OR VENDORS WITH SUPPLIERS TO ENSURE A PROPER FIT AND CORRECT POWER CONNECTIONS. THIS INCLUDES ITEMS FURNISHED BY OTHER VENDORS AND THE OWNER. FAILURE TO DO SO SHALL PLACE ANY RELOCATION EXPENSE DIRECTLY UPON THAT CONTRACTOR.
- THE STRUCTURAL INTEGRITY OF THE PROPOSED BUILDING SHALL BE MAINTAINED BY ALL TRADES AT ALL TIMES.
- ALL INSTRUCTIONS TO BIDDERS (IF APPLICABLE) TO BE AS COORDINATED BY THE GENERAL CONTRACTOR AND THE OWNER. THIS WILL INCLUDE A "WORK BY OWNER" LIST AND "WORK BY VENDORS" LISTS. REFER TO NOTE #7
- ALL CONTRACTS, AGREEMENT FORMS, & RELATED CONTRACT SCOPES OF WORK, AGENDAS, AND ALLOWANCES SHALL BE AGREED UPON IN WRITING BY THE GENERAL CONTRACTOR AND SUBCONTRACTOR, THE GENERAL CONTRACTOR AND VENDOR, AND THE OWNER AND GENERAL CONTRACTOR AND AUTHORIZED BY OWNER'S SIGNATURE.
- THE GENERAL CONTRACTOR AND SUBCONTRACTORS, SUB-SUBCONTRACTORS, VENDORS, SUPPLIERS ETC. ARE RESPONSIBLE FOR OBTAINING AND MAINTAINING INSURANCE FOR GENERAL LIABILITY COMPENSATION IN THE MIN. AMOUNTS AS REQUIRED BY STATE STATUTES ON THIS PROJECT. THIS INCLUDES STORED MATERIALS NOT YET INVOICED FOR AND/OR ALL MATERIALS AND EQUIPMENT STORED OFF SITE.
- CERTIFICATES OF INSURANCE FOR EACH SUBTRADE AND VENDOR, ETC. SHALL BE KEPT ON FILE BY GENERAL CONTRACTOR AND PRESENTED TO OWNER BEFORE FIRST WORK IS BEGUN.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION, PROVIDING AND MAINTAINING SITE SANITARY FACILITIES, TEMPORARY UTILITIES, CONSTRUCTION DEBRIS COLLECTION AND REMOVAL OF DUMPSTERS, AS COORDINATED WITH OWNER.
- THE GENERAL CONTRACTOR AND SUBCONTRACTORS ARE RESPONSIBLE FOR PROVIDING ALL LABOR, TOOLS, EQUIPMENT, INCLUDING POWER LULLS/LIFTS, SCAFFOLDING, MATERIALS, ETC. NECESSARY TO UNLOAD AND INSTALL THEIR RELATED SCOPE OF WORK ITEMS.
- ALL FEDERAL, OSHA, STATE AND LOCAL SAFETY STANDARDS ARE TO BE MAINTAINED BY THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS AND SUB-SUBCONTRACTORS UNTIL FINAL COMPLETION AND CERTIFICATE OF OCCUPANCY ISSUED BY GOVERNMENTAL AGENCIES.
- ALL CONTRACTORS SHALL VERIFY DIMENSIONS AS RELATED TO THEIR SCOPE OF WORK PRIOR TO COMMENCING CONSTRUCTION OR ORDERING MATERIALS, EQUIPMENT, ETC.

**DRAWING INDEX:**

**GENERAL**

G-1.1.....COVER SHEET

**STRUCTURAL**

S-1.1.....FOUNDATION PLAN & DETAILS

**ARCHITECTURAL**

- A-1.1.....DIMENSIONAL FIRST FLOOR
- A-1.2.....DIMENSIONAL FLOOR PLAN
- A-1.3.....ROOF PLAN
- A-2.1.....EXTERIOR ELEVATIONS
- A-3.1.....WALL SECTIONS & DETAILS

**ELECTRICAL**

- E-1.1.....FIRST FLOOR LIGHTING PLAN
- E-1.2.....SECOND FLOOR LIGHTING PLAN

**CODE DATA:**

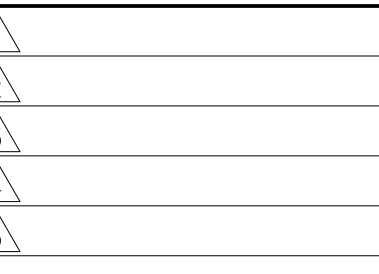
OCCUPANCY CLASSIFICATION AND USE: A-3  
TYPE OF CONSTRUCTION: 5B  
BUILDING AREA:  
FIRST FLOOR 3,466 SQ. FT.  
SECOND FLOOR 3,120 SQ. FT.  
TOTAL BUILDING 6,586 SQ. FT.

**APPLICABLE CODES:**

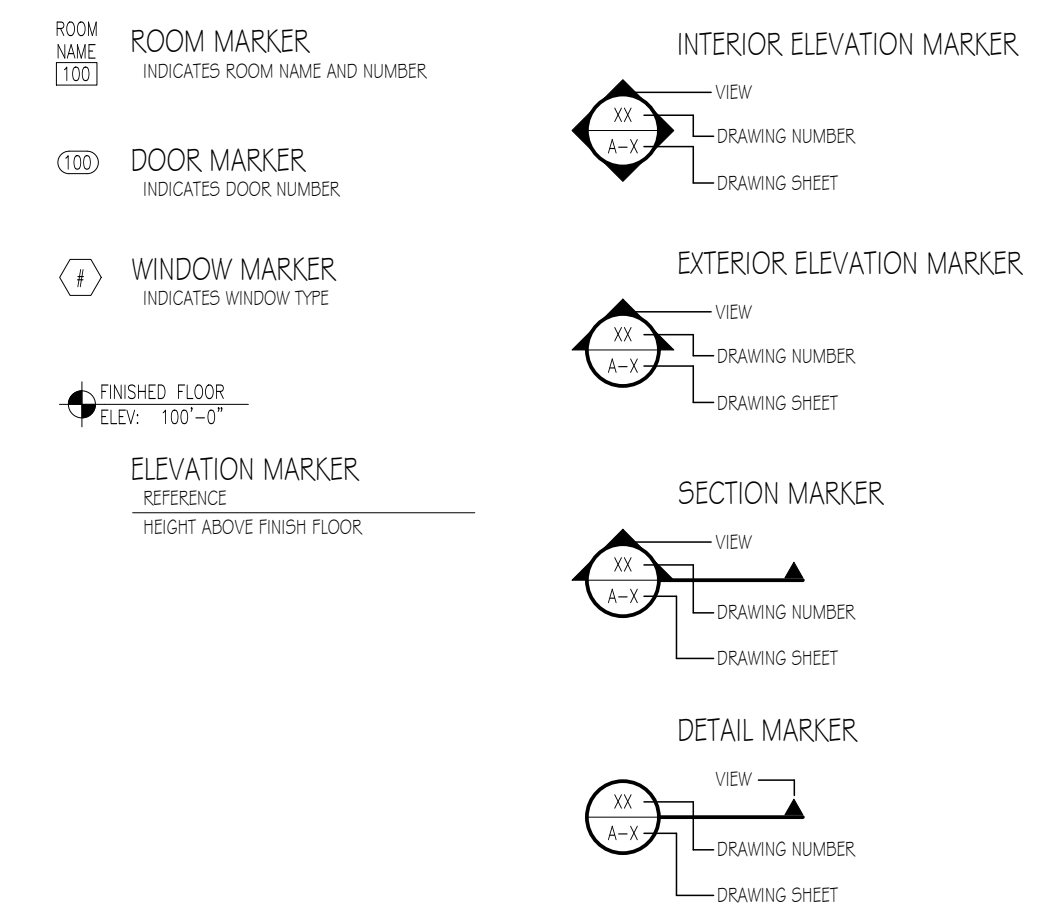
- 2018 KBC (2015 IBC)
- 2015 IMC
- 2012 IECC
- 2015 INTERNATIONAL FIRE CODE
- 2012 NFPA-1 FIRE PREVENTION CODE
- 2017 NFPA-70 NATIONAL ELECTRIC CODE
- 2013 NFPA-72 NATIONAL FIRE ALARM AND SIGNALING CODE
- 2009 ICC/ANSI A117.1
- 2015 INTERNATIONAL EXISTING BUILDING CODE
- KENTUCKY STATE PLUMBING LAW, REGULATIONS, AND CODE

Project Number: 2024.NNNN

Drawn: CS  
Checked: EW  
Date: 09.11.2024



**Drawing Symbols**



**Building Code Notes:**

- INTERIOR FINISHES SHALL COMPLY WITH THE 2018 KBC (2015 IBC)
- SMOKE DETECTORS SHALL COMPLY WITH 2018 KBC (2015 IBC)
- FIREBLOCKING AND DRAFTSTOPPING SHALL COMPLY WITH THE 2018 KBC (2015 IBC)
- FIRE ALARM SYSTEM SHALL BE IN COMPLIANCE WITH THE 2018 KBC (2015 IBC), THE CURRENT VERSION OF 2012 NFPA-1 FIRE PREVENTION CODE, AND THE 2009 ICC/ANSI A117.1 ACCESSIBILITY GUIDELINES. ALARM PLANS SHALL BE SUBMITTED FOR APPROVAL. PLAN SHALL ALSO SHOW ENUNCIATOR PANEL AT FRONT ENTRANCE.

**Disclaimer**

- IF DESIGN INDICATED HEREIN IS IN ANY WAY NOT FULFILLED, EITHER THROUGH INTENTIONAL OR UNINTENTIONAL DEVIATION, WITHOUT THE EXPRESS OR WRITTEN CONSENT FROM THIS ARCHITECT - THIS DRAWING SET WILL BE RENDERED NULL AND VOID AND ALL PROFESSIONAL RESPONSIBILITY AND LIABILITY OF THIS ARCHITECT WILL BE IMMEDIATELY TERMINATED.
- IT IS THE LEGAL AND PROFESSIONAL RESPONSIBILITY OF THE CLIENT AND ALL CONTRACTORS TO ADHERE FULLY TO THE SPECIFICATIONS HEREIN. IF ANY DISCREPANCIES OR ISSUES ARE DISCOVERED IN THE FIELD - THIS ARCHITECT IS TO BE NOTIFIED IMMEDIATELY FOR MEDIATION. SAID DISCREPANCIES/ISSUES ARE NOT TO BE ADDRESSED WITHOUT WRITTEN APPROVAL FROM THIS ARCHITECT.
- THIS ARCHITECT IS IN NO WAY RESPONSIBLE FOR THE SAFETY OF THE WORK SITE DURING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT THE WORK SITE ADHERES TO ALL GUIDELINES AND SPECIFICATIONS OF OSHA AND OTHER APPLICABLE GOVERNING BODIES.
- ALL CONSTRUCTION SHALL ADHERE FULLY TO APPLICABLE STATE AND LOCAL BUILDING CODES. IF ANY QUESTION AS TO SAID COMPLIANCE ARISES IN THE FIELD, THIS ARCHITECT IS TO BE NOTIFIED IMMEDIATELY.

**PROJECT CONTACTS:**

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PROJECT ARCHITECT

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**Redeeming HOPE**

1045 Richmond Road Berea, KY 40403

PROJECT:

LOCATION:

TITLE:

SHEET:

**G-1.1**

Scale: As Noted

Cover Sheet



## General Notes:

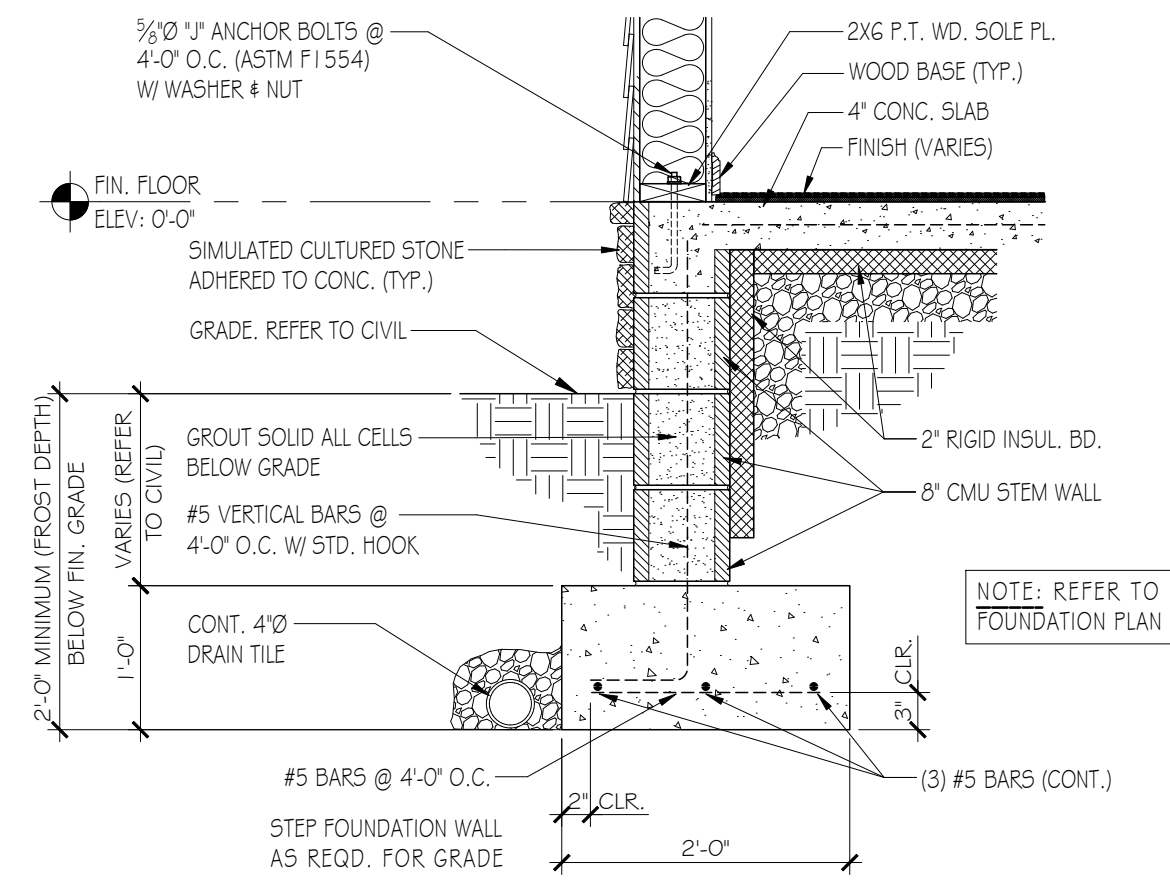
- ALL WORK SHALL BE PERFORMED PER FEDERAL, STATE, & LOCAL CODES; KBC, ADA, NEC, ETC.
- ALL DIMENSIONS SHALL BE CHECKED AND VERIFIED BY OWNER/CONTRACTOR PRIOR TO CONSTRUCTION.
- DO NOT SCALE DRAWINGS, REFER TO DIMENSIONS ONLY. REPORT ALL DISCREPANCIES TO ARCHITECT/ENGINEER BEFORE CONTINUING CONSTRUCTION/FABRICATION.
- G.C. TO VERIFY ALL EXISTING SITE AND BUILDING CONDITIONS THAT MAY EFFECT NEW CONSTRUCTION.
- G.C. TO FIELD VERIFY FINISH GRADE ELEVATIONS AND FINISH FLOOR ELEVATIONS.
- G.C. TO VERIFY WITH UTILITY COMPANIES LOCATION OF UTILITIES AND UTILITY EASEMENTS PRIOR TO CONSTRUCTION.

## Foundation Notes:

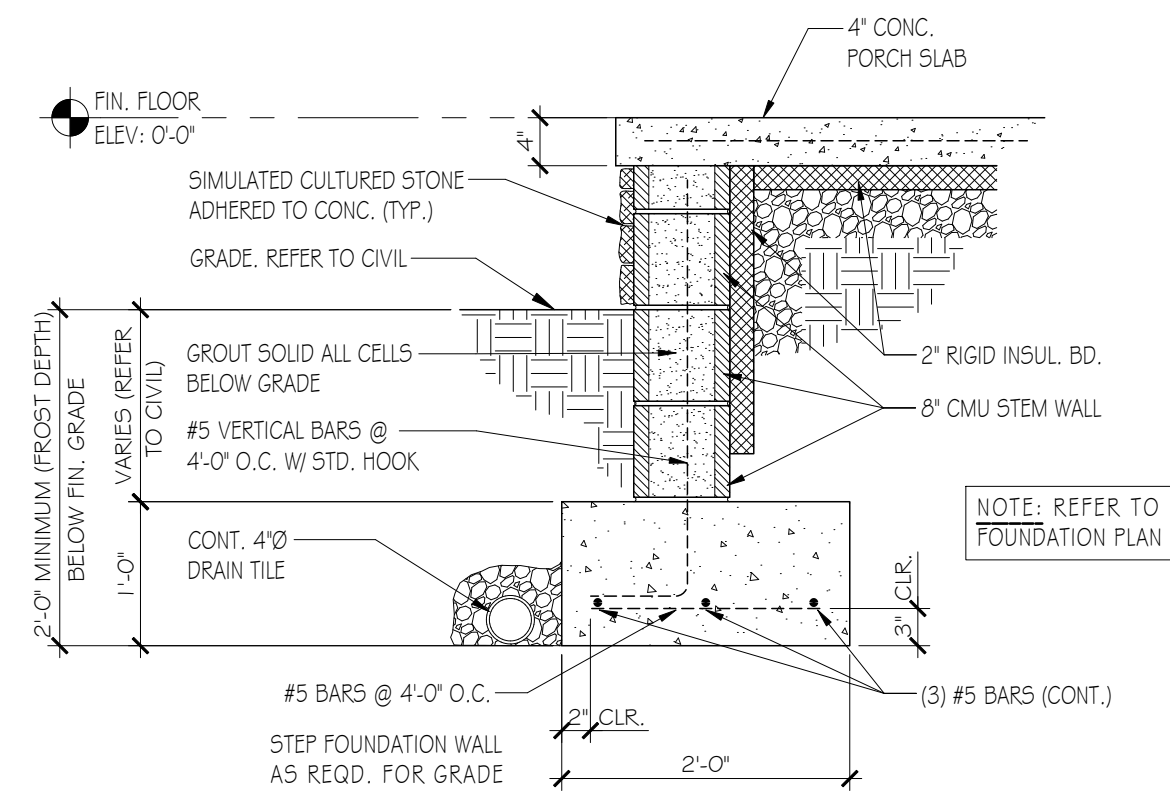
- SLOPE ALL SLABS TO ALLOW FOR DRAINAGE.
- ALL FOOTINGS TO REST ON CLEAN, FIRM UNDISTURBED SOIL. STEP FOOTINGS AS REQUIRED TO MAINTAIN REQUIRED DEPTH BELOW FINISH GRADES.
- CONCRETE STRENGTH:  
3,500 PSI AT 28 DAYS FOR ALL SLABS. (FOUNDATION DESIGN PER BUILDER/ENGINEER & SOILS REPORT).  
3,500 PSI AT 28 DAYS FOR ALL OTHER CONDITION.  
MAXIMUM SLUMP, 4"
- USE ASTM A-615 GRADE 60 DEFORMED REINFORCING BARS UNLESS NOTED OTHERWISE
- CONCRETE EXPANSION ANCHORS SHALL BE TITEN HD OR APPROVED EQUAL. EPOXY TO BE SIMPSON "SET" ADHESIVE OR APPROVED EQUAL.
- INFILTRATION, ALL OPENINGS IN THE EXT. BLDG. ENVELOPE SHALL BE SEALED AGAINST AIR INFILTRATION. THE FOLLOWING AREAS MUST BE SEALED:  
JOINTS AROUND WINDOW AND DOOR FRAMES  
JOINTS BETWEEN WALL CAVITY AND WINDOW/DOOR FRAMES  
JOINTS BETWEEN WALL AND FOUNDATION  
JOINTS BETWEEN WALL AND ROOF  
JOINTS BETWEEN WALL PANELS  
UTILITY PENETRATIONS THROUGH EXTERIOR WALLS

## Framing Notes:

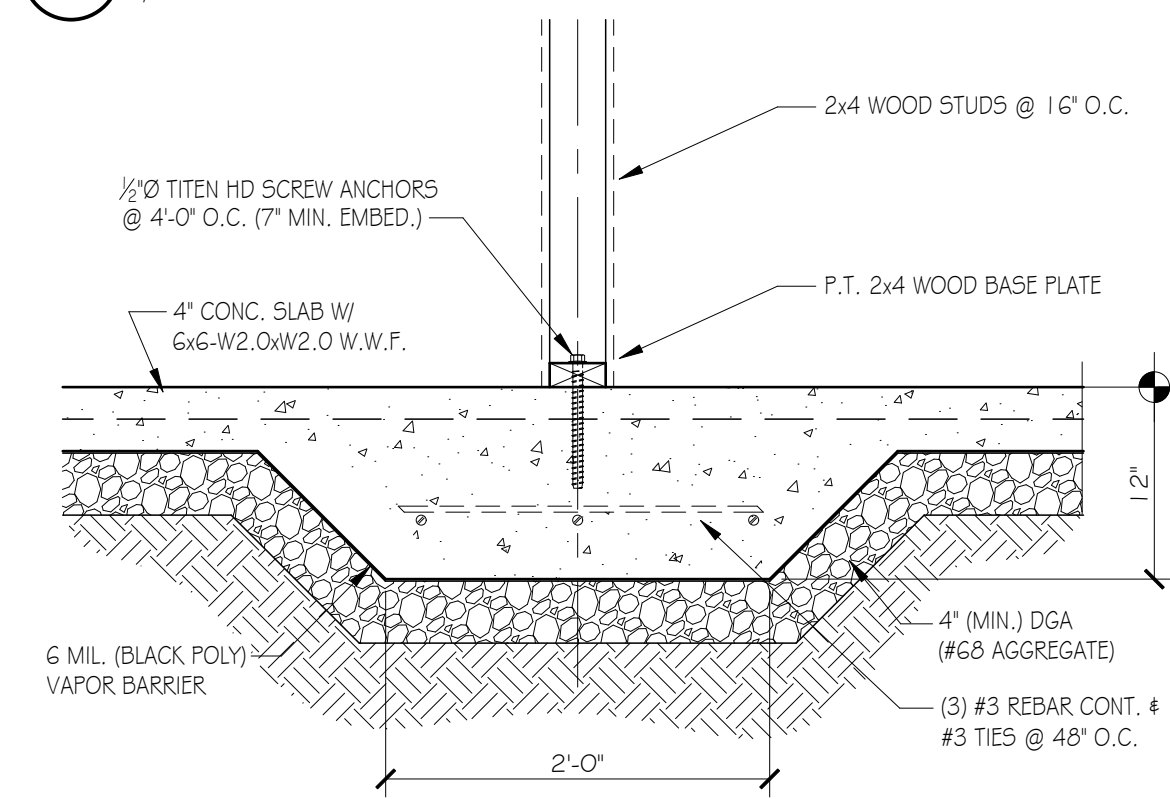
- PROVIDE DOUBLE JOISTS UNDER ALL WALLS RUNNING PARALLEL TO JOISTS.
  - PROVIDE POSITIVE VENTILATION AT EA. END OF EA. RAFTER SPACE AT ANY VAULTED CEILING AREAS.
  - PROVIDE FIRE BLOCKING, DRAFT STOPS AND FIRE STOPS AS REQD. PER I.B.C. SEC. R502.12.
  - PROVIDE POSITIVE CONNECTIONS AT EACH END OF ALL POSTS AND COLUMNS TO RESIST LATERAL DISPLACEMENT.
- LUMBER SPECIES:
- POSTS, BEAMS, HEADERS, JOISTS, AND RAFTERS TO BE DF#2
  - EXPOSED ARCH BEAMS TO BE DF#1 OR BETTER
  - SILLS, PLATES BLOCKING, AND BRIDGING TO BE DF#2.
  - ALL STUDS TO BE DF#2 OR BETTER.
  - PLYWOOD SHEATHING SHALL BE AS FOLLOWS:  
ROOF SHEATHING SHALL BE 1/2" CDX INT-APA RATED 32/16.  
WALL SHEATHING SHALL BE 1/2" INT-APA RATED 32/16 OR 7/16 OSB.  
FLOOR SHEATHING SHALL BE 3/4" T & G INT-APA RATED OSB.
  - ANY 1" JOISTS SHALL BE MANUFACTURED BY TRUS-JOIST OR APPROVED EQUAL.
  - ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.



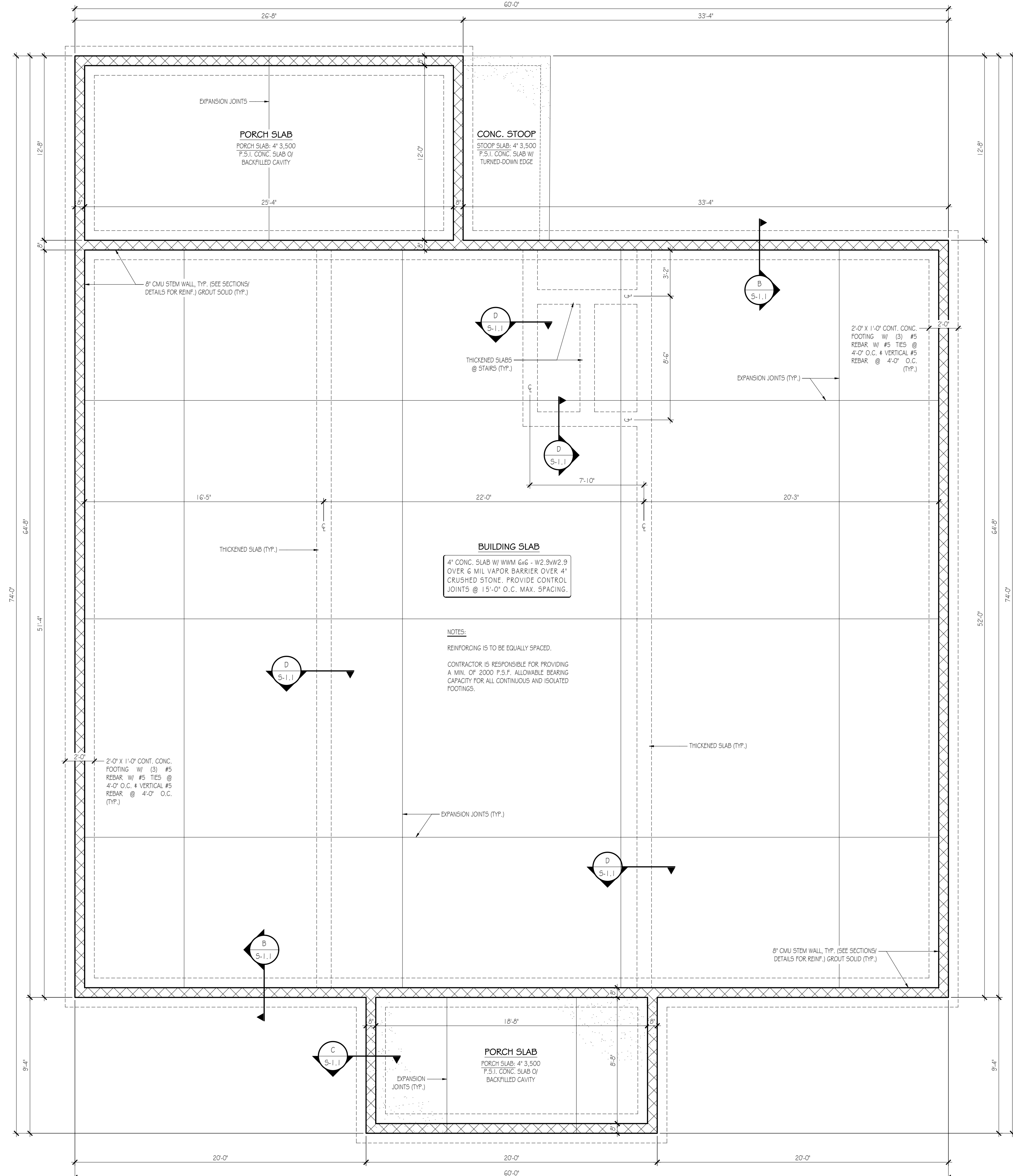
**(B) Typical Foundation Section**  
3/4" = 1'-0"



**(C) Typical Porch Section**  
3/4" = 1'-0"



**(C) Thickened Slab Detail**  
1" = 1'-0"



**(A) Foundation Plan**  
1/4" = 1'-0"

Project Number: 2024.NNNN  
Drawn: CS  
Checked: EW  
Date: 09.11.2024

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CKD, inc.

Redeeming HOPE

1045 Richmond Road Berea, KY 40403

PROJECT:

LOCATION:

TITLE:

SHEET:

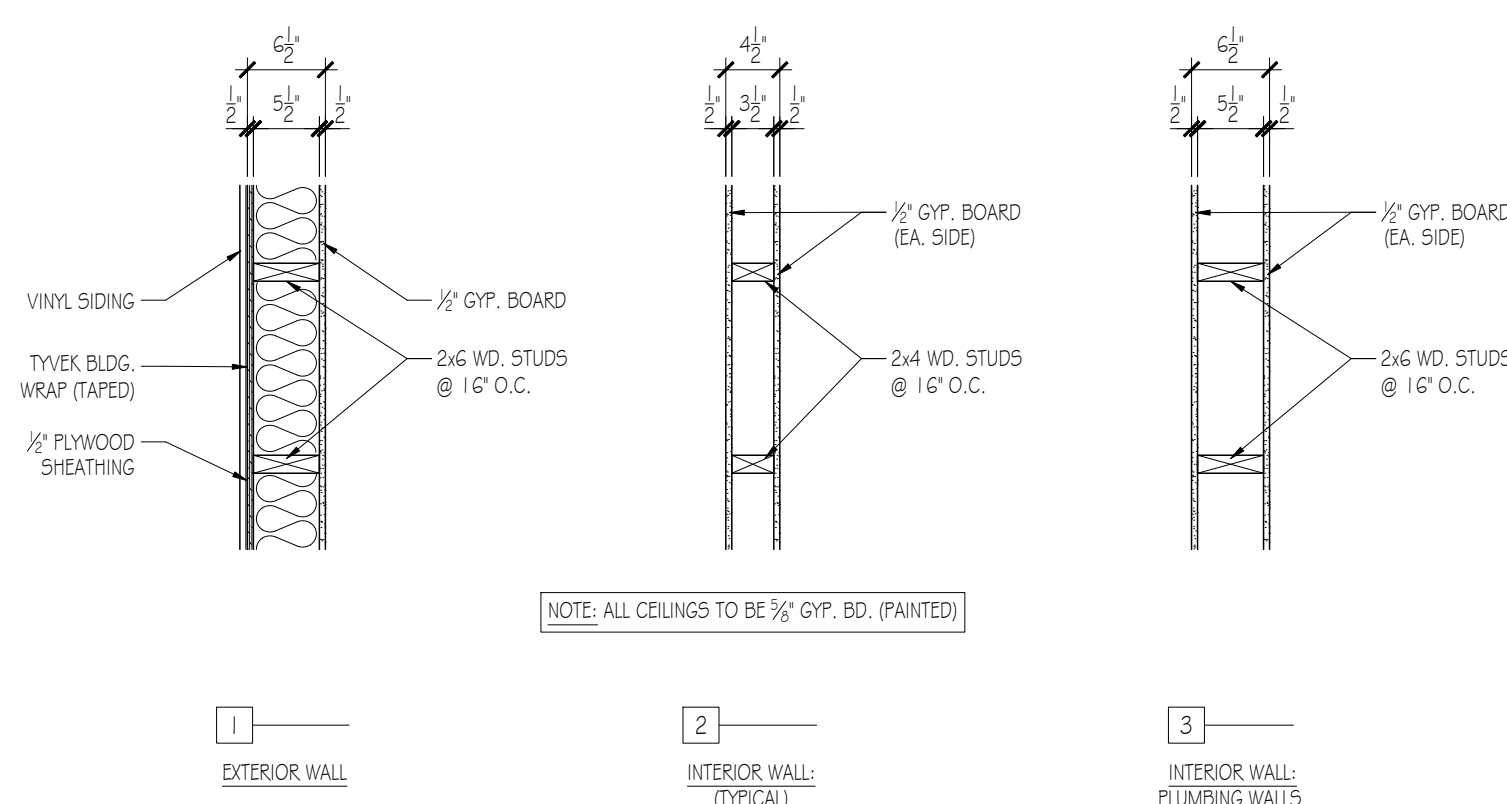
S-1.1

Scale: As Noted



# General Notes

- ALL DIMENSIONS SHALL BE CHECKED AND VERIFIED BY OWNER AND CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION.
- DO NOT SCALE DRAWING. IF THERE ARE DISCREPANCIES IN DIMENSIONS, NOTIFY THE ARCHITECT FOR CLARIFICATION.
- ALL EXTERIOR CONCRETE WALKS, STOOPS, ETC. SHALL BE 4000 PSI AND RECEIVE LIGHT BROOM FINISH.
- ALL INTERIOR DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD.
- PROVIDE SIGNAGE AS REQUIRED PER KBC 1110 FOR ALL ACCESSIBLE ELEMENTS.
- EXTERIOR WALLS TO BE 2x6 @ 16" O.C. W/ 1/2" EXTERIOR PLYWOOD SHEATHING.
- G.C. TO SUPPLY BLOCKING FOR KITCHEN CABINETS, SHELVING, AND RESTROOM WALL MOUNTED GRAB BARS, VANITIES, AND ANY WALL MOUNTED FIXTURES.
- G.C. SHALL SUPPLY BLOCKING AT MID-POINT IN AL EXTERIOR AND INTERIOR WALLS.
- G.C. SHALL BE VERIFY FINAL KITCHEN LAYOUT W/ THE OWNER. VERIFY ALL KITCHEN EQUIPMENT SIZES, POWER REQUIREMENTS, ETC. PRIOR TO CONSTRUCTION.
- SUPPLY A WATER LINE TO REFRIGERATOR.
- G.C. AND E.C. TO VERIFY WITH THE OWNER PRIOR TO ELECTRICAL ROUGH-IN ALL OFFICE FURNITURE LAYOUT, CLASSROOM LAYOUTS, PHONEDATA, TV, AND ELEC. OUTLETS LOCATIONS.
- G.C. TO PROVIDE SOIL AND PEST CONTROL AS REQUIRED FOR BUILDING PROTECTION.
- HVAC, KITCHEN RANGE, AND WATER HEATERS SHALL BE GAS, UNLESS NOTED OTHERWISE.
- G.C., OWNER AND CABINET SUPPLIER TO VERIFY AND SELECT KITCHEN CABINET LAYOUTS, LAYOUTS, STYLE, COLOR, ETC. FIELD MEASURE KITCHEN AREA PRIOR TO ORDERING AND FABRICATING CABINETS. COUNTER TOPS SELECTED BY OWNER.
- GENERAL CONTRACTOR SHALL VERIFY WITH LOCAL UTILITY COMPANIES SITE UTILITY LOCATIONS AND SERVICE SIZE REQUIREMENTS.

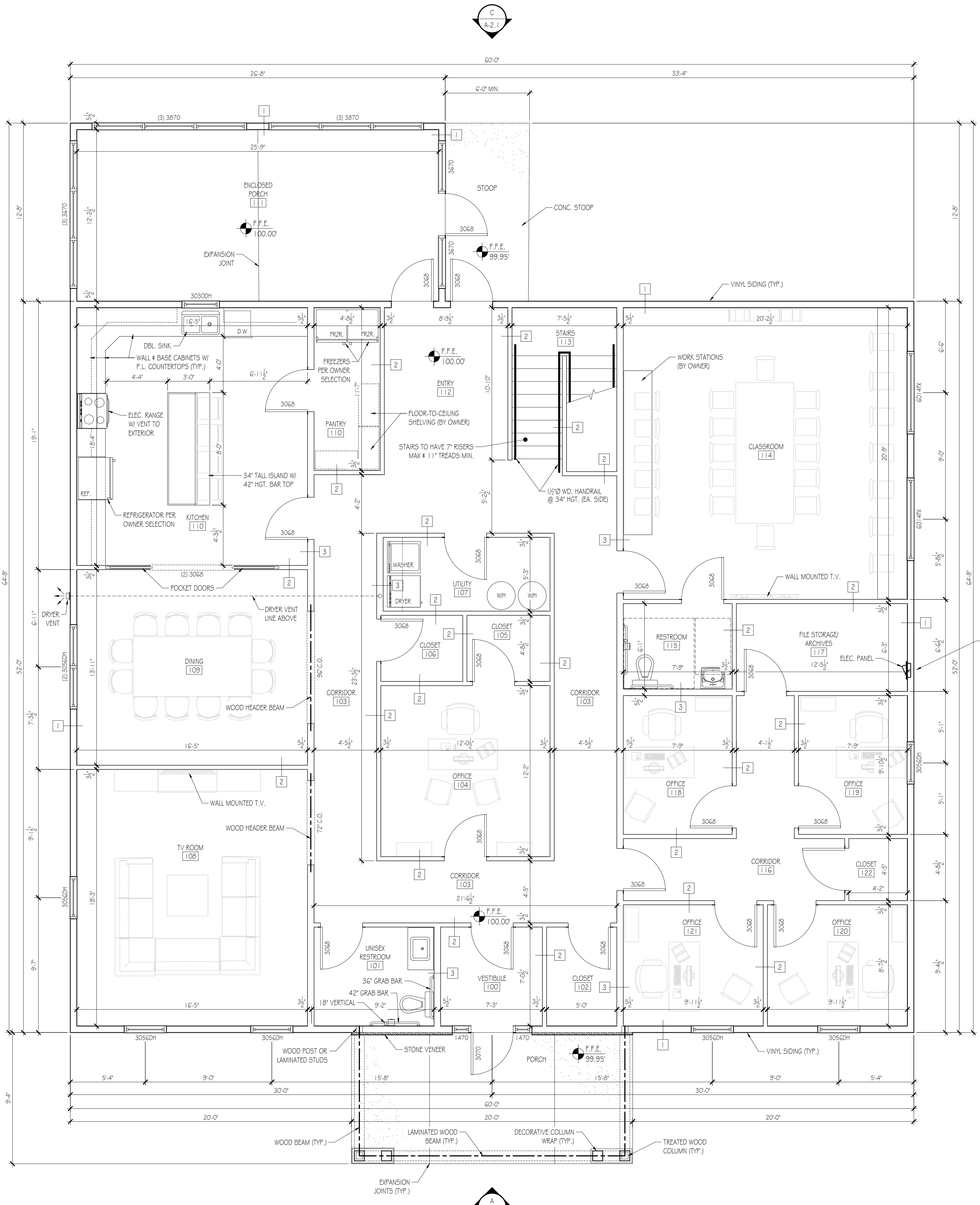


Wall Types

NTS

Dimensional First Floor Plan

1/4" = 1'-0"



VERIFY METER LOCATION W/ LOCAL UTILITY CO.

FINISHED AREA = 3,466 SF

Project Number:	2024.NNNN
Drawn:	CS
Checked:	EW
Date:	09.11.2024

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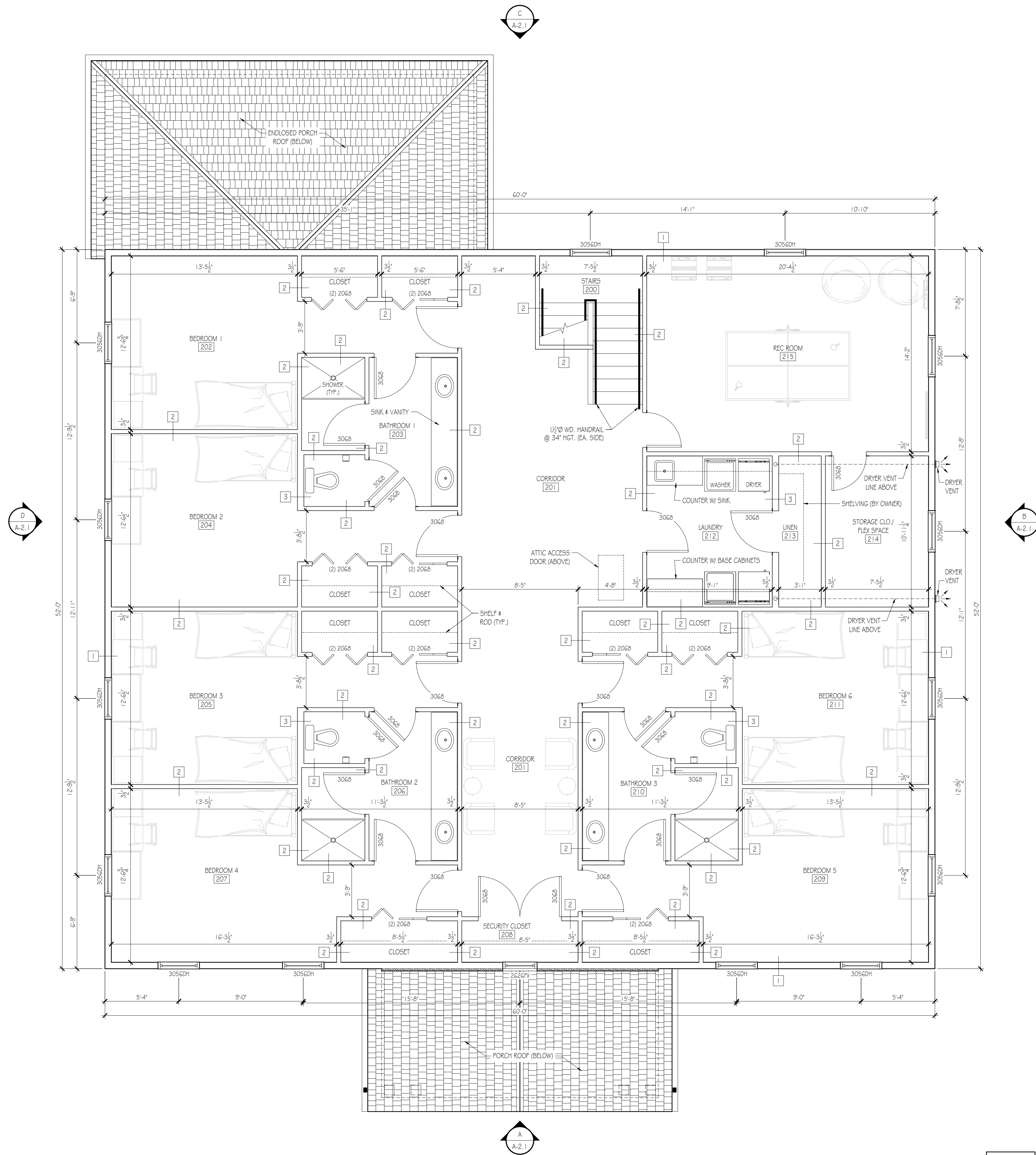
**Redeeming HOPE**  
 1045 Richmond Road Berea, KY 40403

PROJECT: **Redeeming HOPE**  
 LOCATION: **1045 Richmond Road Berea, KY 40403**  
 TITLE: **Dimensional First Floor Plan**

SHEET:  
**A-1.1**  
 Scale: As Noted

# General Notes

1. ALL DIMENSIONS SHALL BE CHECKED AND VERIFIED BY OWNER AND CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION.
2. DO NOT SCALE DRAWING. IF THERE ARE DISCREPANCIES IN DIMENSIONS, NOTIFY THE ARCHITECT FOR CLARIFICATION.
3. ALL EXTERIOR CONCRETE WALKS, STOOPS, ETC. SHALL BE 4000 PSI AND RECEIVE LIGHT BROOM FINISH.
4. ALL INTERIOR DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD.
5. PROVIDE SIGNAGE AS REQUIRED PER KBC 1110 FOR ALL ACCESSIBLE ELEMENTS.
6. GENERAL CONTRACTOR AND WOOD BURNING PACKAGE SUPPLIER SHALL VERIFY 2ND FLOOR FRAMING MEMBERS, SIZES, LENGTHS, LOAD CAPACITIES, ETC. AND MEET OR EXCEED 2018 K.B.C. CHAPTERS 16 AND 23.
7. FRAMING DIRECTION IS BASED ON CLEAR SPAN ROOF TRUSSES. ROOF TRUSSES MUST BE SEALED BY A KY. REGISTERED ENGINEER.
8. DOUBLE FLOOR FRAMING MEMBERS UNDER ALL SECOND FLOOR WALLS RUNNING PARALLEL WITH THE FLOOR FRAMING.



**A** Dimensional Second Floor Plan  
1/4" = 1'-0"

FINISHED AREA = 3,120 SF

Project Number:	2024.NNNN
Drawn:	CS
Checked:	EW
Date:	09.11.2024

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**Redeeming HOPE**  
 1045 Richmond Road Berea, KY 40403  
 Dimensional Second Floor Plan

SHEET:  
**A-1.2**  
 Scale: As Noted

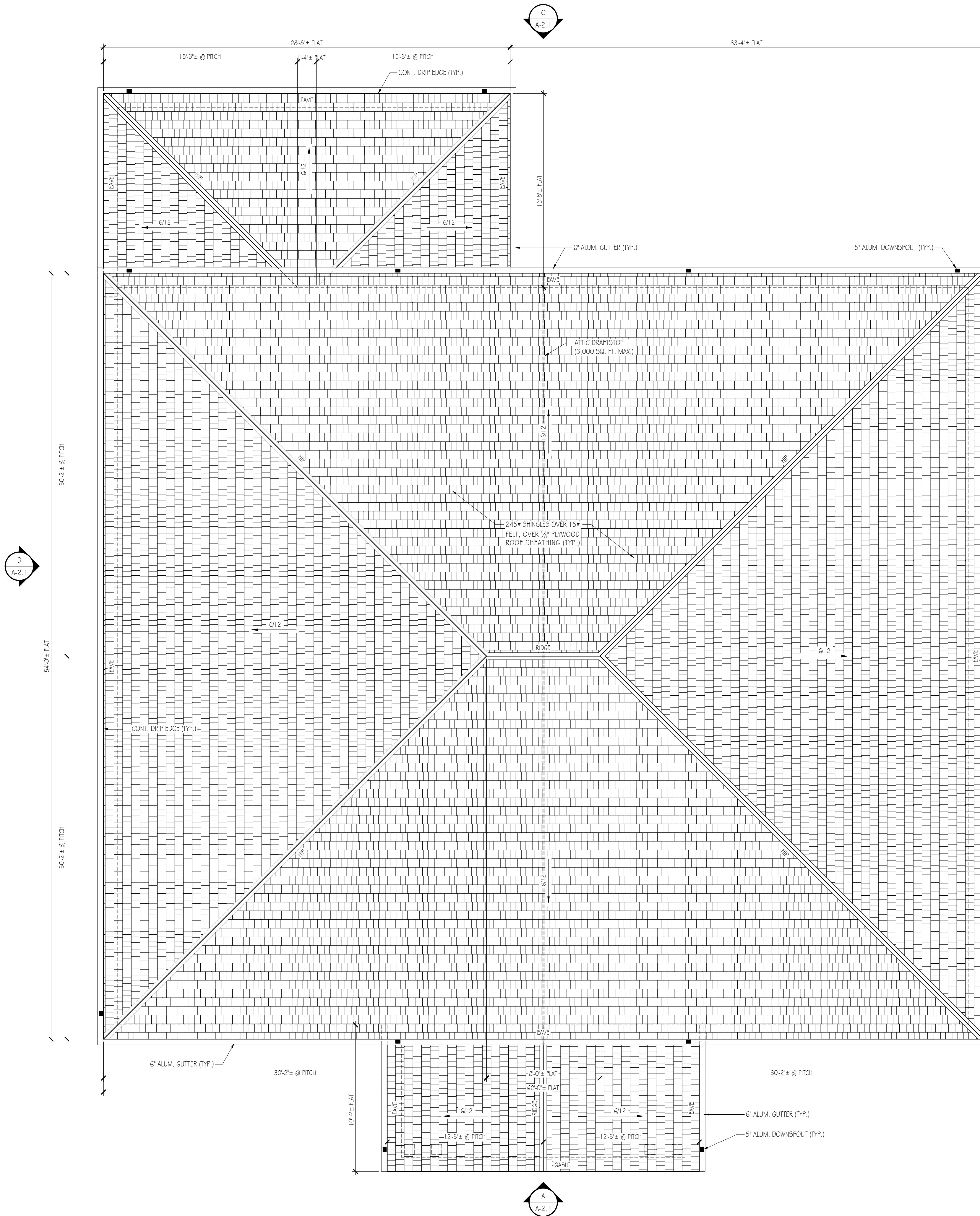


### General Notes

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2. DO NOT SCALE DRAWING. IF THERE ARE DISCREPANCIES IN DIMENSIONS, NOTIFY THE ARCHITECT FOR CLARIFICATION.
3. ALL EXTERIOR CONCRETE WALKS, STOOPS, ETC. SHALL BE 4000 PSI AND RECEIVE LIGHT BROOM FINISH.
4. ALL INTERIOR DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD.
5. PROVIDE SIGNAGE AS REQUIRED PER KBC 1110 FOR ALL ACCESSIBLE ELEMENTS.

### Roof Notes

1. SHINGLE COLOR, STYLE, AND TEXTURE TO BE SELECTED BY THE OWNER.
2. ALL ROOF TRUSSES SHALL HAVE "HURRICANE CLIPS" AT EACH BEARING POINT.
3. ROOF TRUSSES SHALL BE DESIGNED AND ENGINEERED, ROOF ASSEMBLIES, AND STRUCTURE TO MEET OR EXCEED 2018 K.B.C. CHAPTER 15.
4. AN ATTIC DRAFTSTOP SHALL BE PLACED AT A MAX. OF 3,000 SQ. FT. DRAFT STOP SHALL BE 1/2" GYP. BD. ATTACHED TO ONE SIDE OF A ROOF TRUSS FROM GYP. BD. CEILING TO FLUSH WITH UNDERSIDE OF ROOF DECK. TAPE AND MUD ALL JOINTS.
5. ROOF VENTS FOR ATTIC VENTILATION SHALL BE INSTALLED TO MEET OR EXCEED 2018 K.B.C. CHAPTER 12, SECTION 1202.1 THROUGH 1202.2.2, WITH NET FREE VENTILATING AREA NOT LESS THAN 1/150 OF AREA VENTILATED.



**A** Roof Plan  
1/4" = 1'-0"

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**Redeeming HOPE**  
 1045 Richmond Road Berea, KY 40403  
 PROJECT: **HOPE**  
 LOCATION: **Berea, KY 40403**  
 TITLE: **Roof Plan**

SHEET:  
**A-1.3**  
 Scale: As Noted

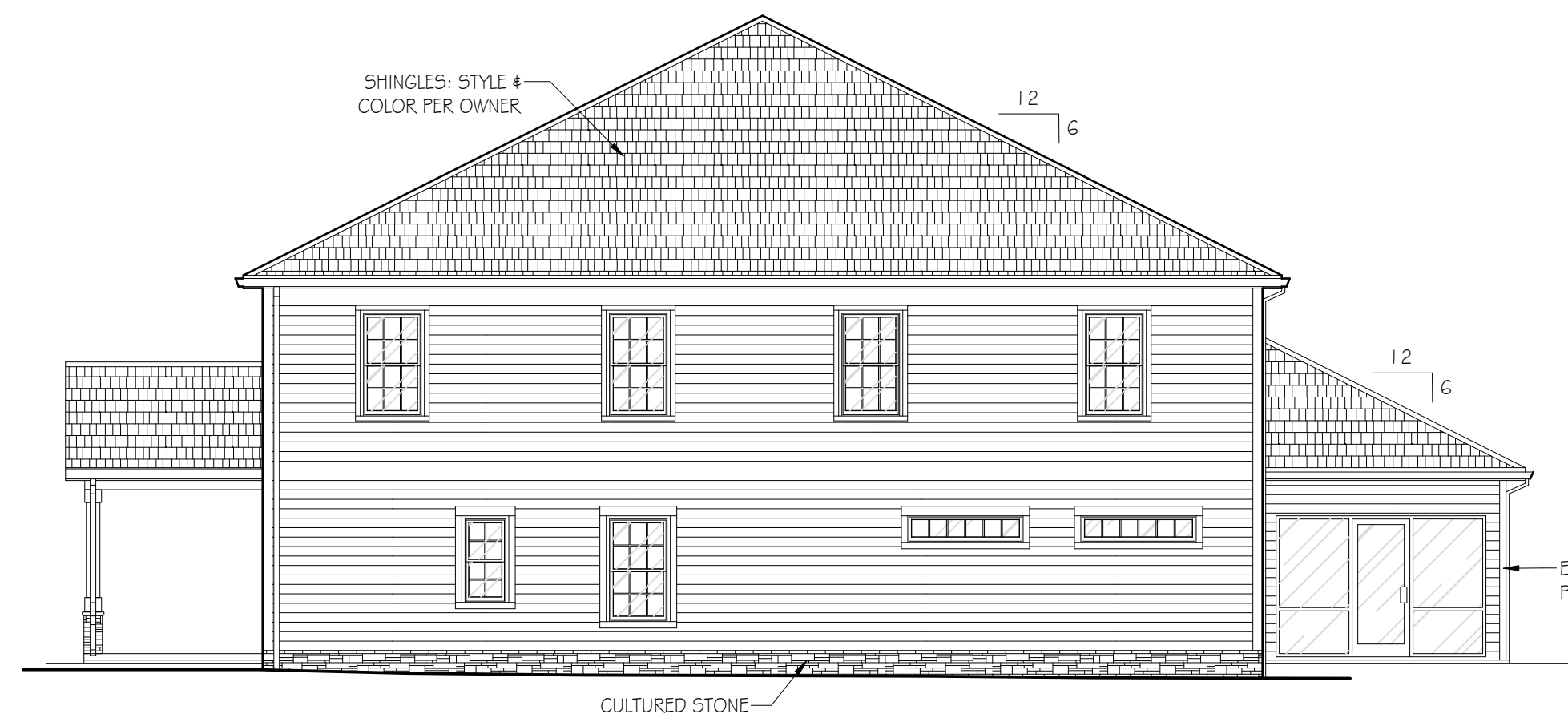


**Elevation Notes:**

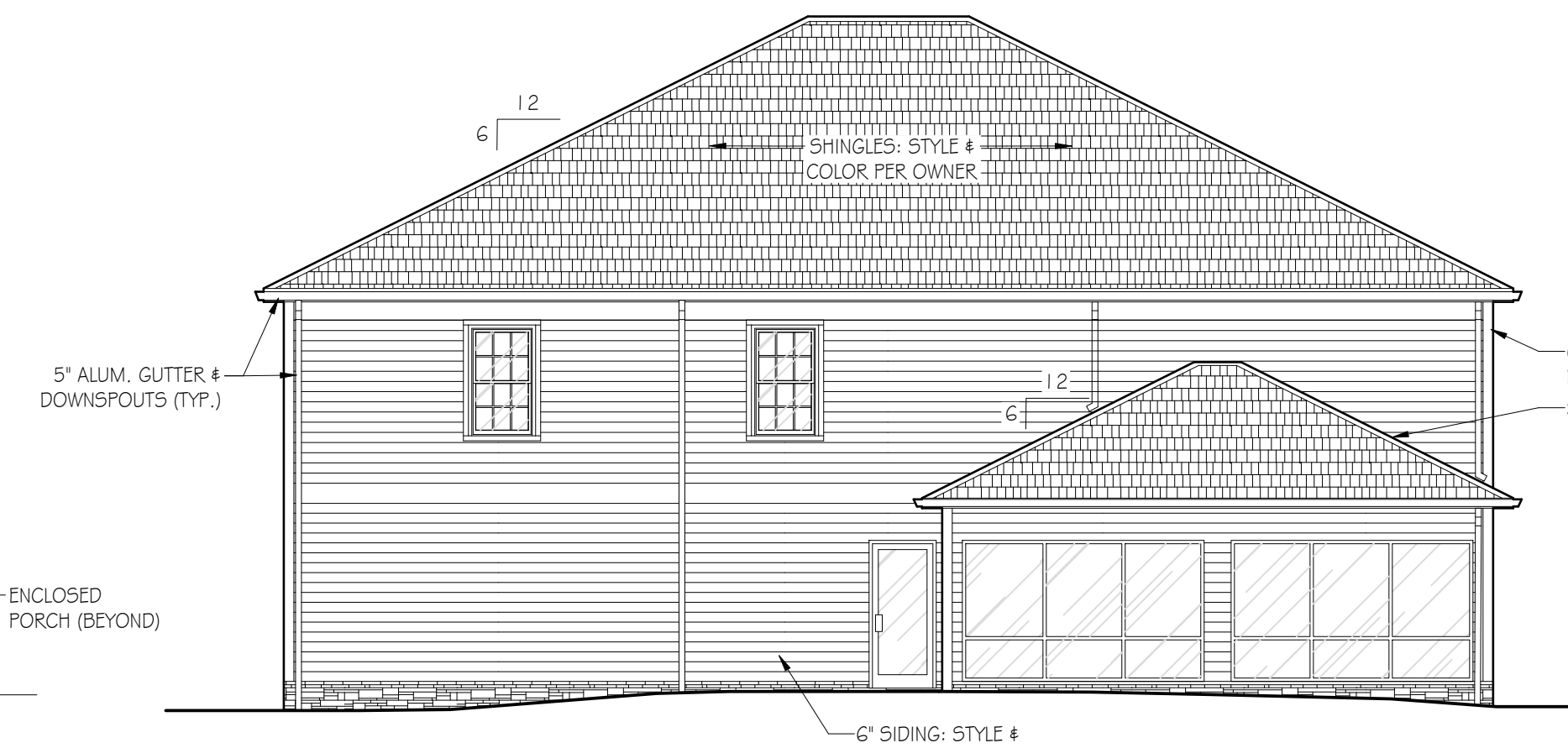
- G.C. TO VERIFY FINISH FLOOR ELEVATIONS, SITE GRADES, AND SITE CONDITIONS THAT MAY AFFECT THE BUILDING, DRAINAGE, HANDICAP ACCESSIBILITY, ETC.
- SLOPE GRADE POSITIVE AWAY FROM THE BUILDING AT 5% SLOPE FOR A MINIMUM OF 10'-0".
- ALL EXTERIOR COLORS SELECTED BY OWNER. G.C. SHALL VERIFY ALL MATERIAL SELECTIONS WITH THE OWNER PRIOR TO CONSTRUCTION.
- G.C. TO PROVIDE FLASHING AT ALL CHANGE OF MATERIALS, DOORS, WINDOWS, AND IF HARD PLANK OR LEEK SIDING IS USED AT ALL JOINTS.
- ROOF WATER SHALL DISCHARGE TO PVC BOOT AND SOLID PVC PIPE TO DISCHARGE LOCATION (SEE SITE DEVELOPMENT PLAN).



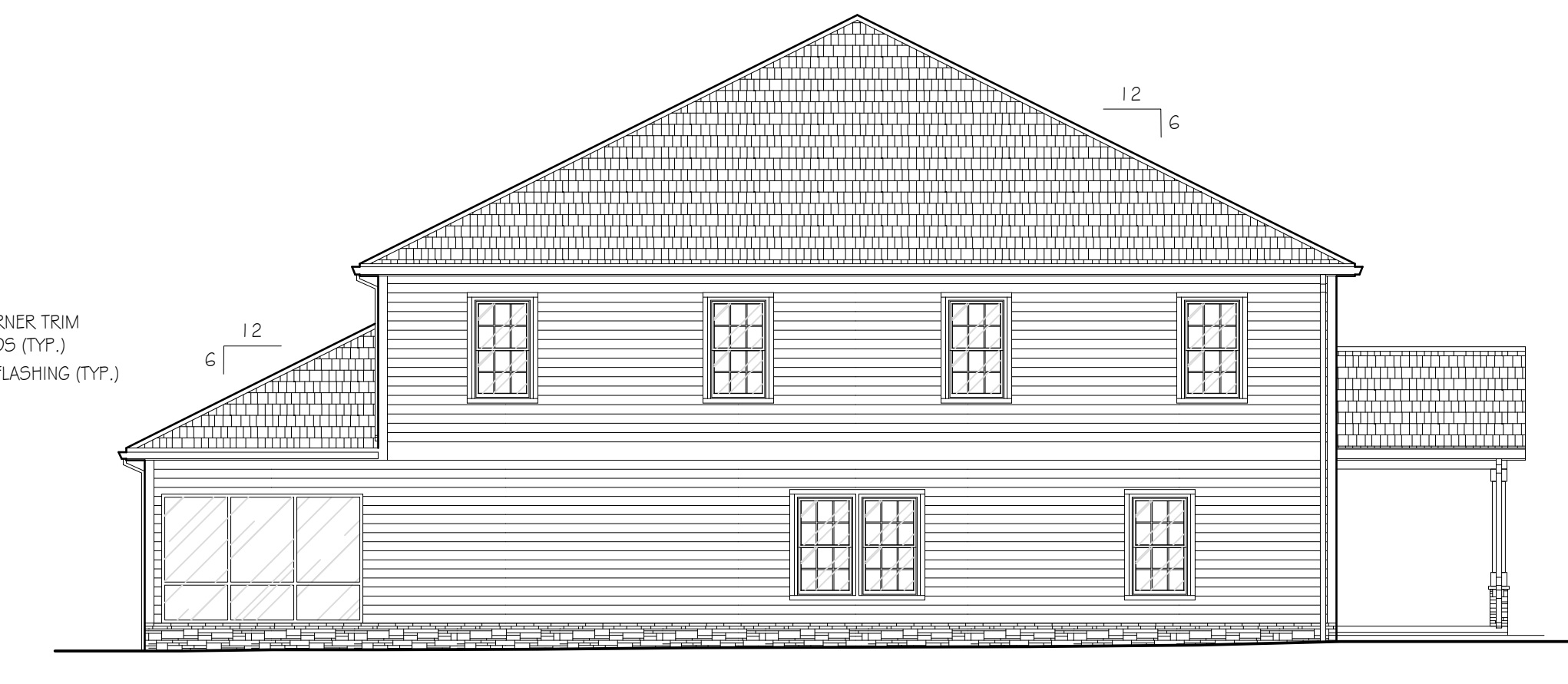
**A Front Elevation**  
1/4" = 1'-0"



**B Right Elevation**  
1/8" = 1'-0"



**C Rear Elevation**  
1/8" = 1'-0"



**D Left Elevation**  
1/8" = 1'-0"

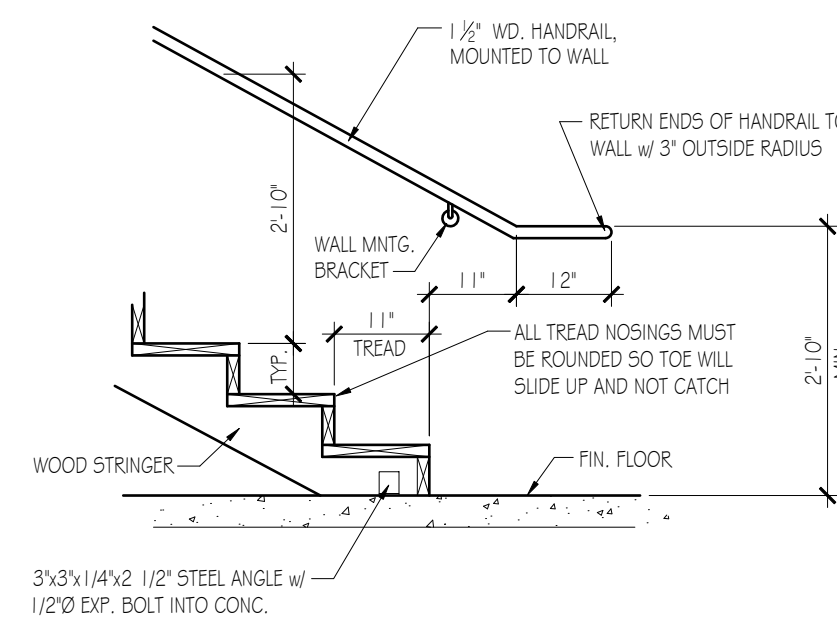
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 109B SEVENTY-SIX BLVD.  
 BERA, KENTUCKY 40403  
 PHONE: (859) 986-8493  
 EMAIL: CKDINC.NET

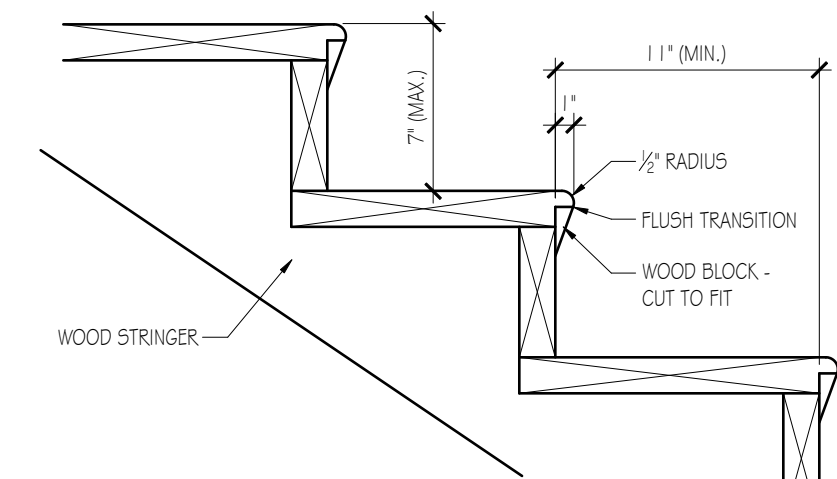
**Redeeming HOPE**  
 1045 Richmond Road Berea, KY 40403  
 Exterior Elevations - Hip Option

SHEET:  
**A-2.1**  
 Scale: As Noted

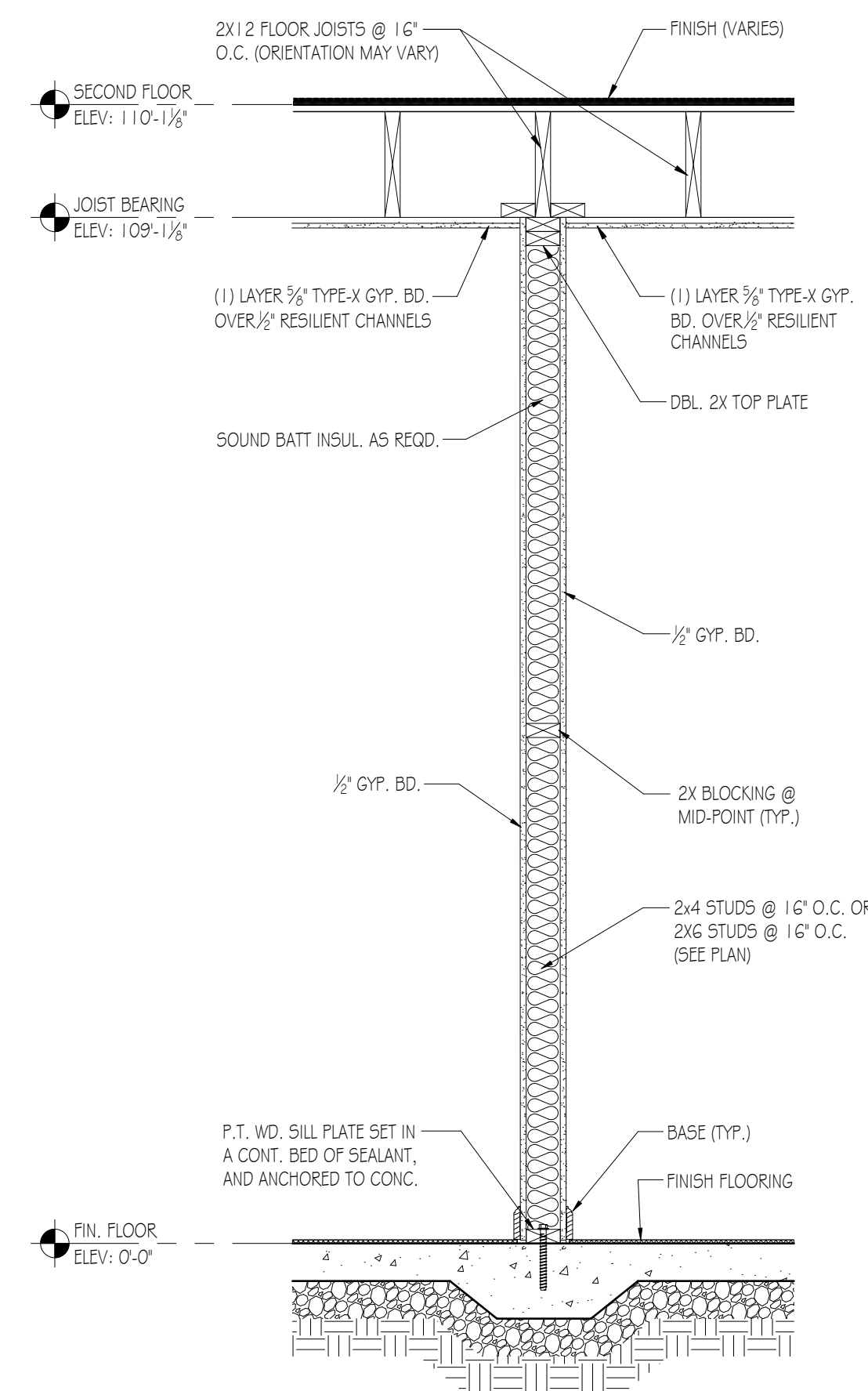




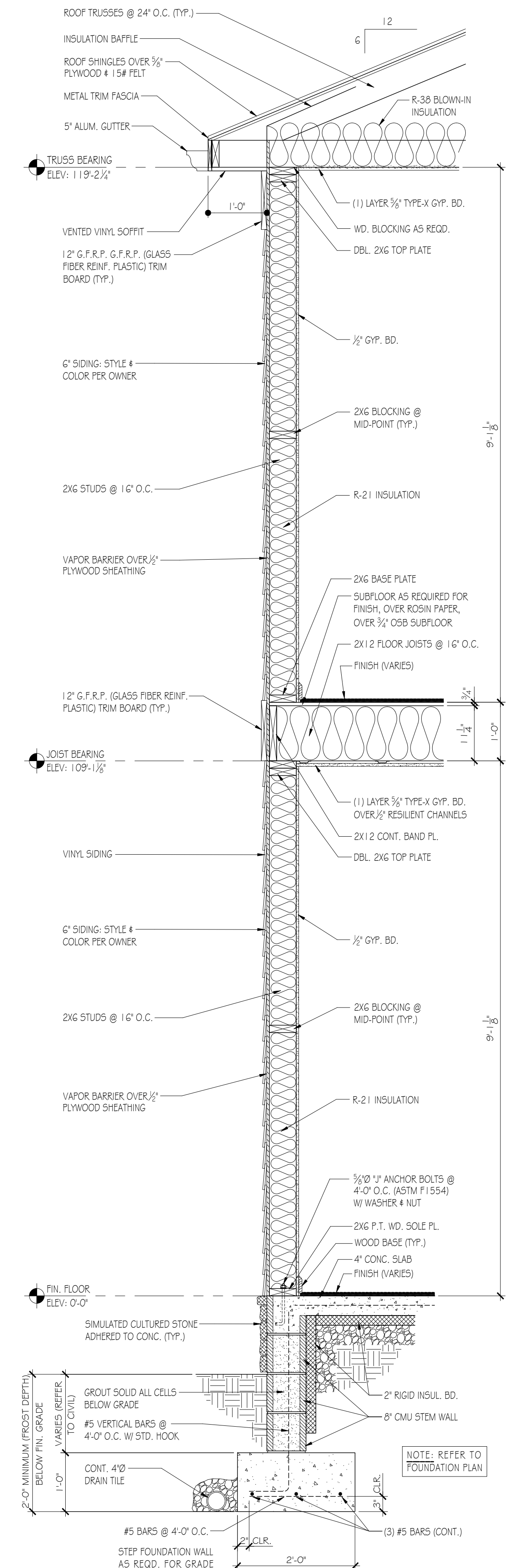
**A1** Stair Base Detail  
1/2" = 1'-0"



**A2** Wood Riser Detail  
1/2" = 1'-0"



**B** Typical Interior Wall Section  
3/4" = 1'-0"



**A** Typical Exterior Wall Section  
3/4" = 1'-0"

Project Number:	2024.NNNN
Drawn:	CS
Checked:	EW
Date:	09.11.2024

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**Redeeming HOPE**  
 1045 Richmond Road Berea, KY 40403  
 PROJECT: **Redeeming HOPE**  
 LOCATION: **1045 Richmond Road Berea, KY 40403**  
 TITLE: **Wall Sections & Details**

SHEET:  
**A-3.1**  
 Scale: As Noted



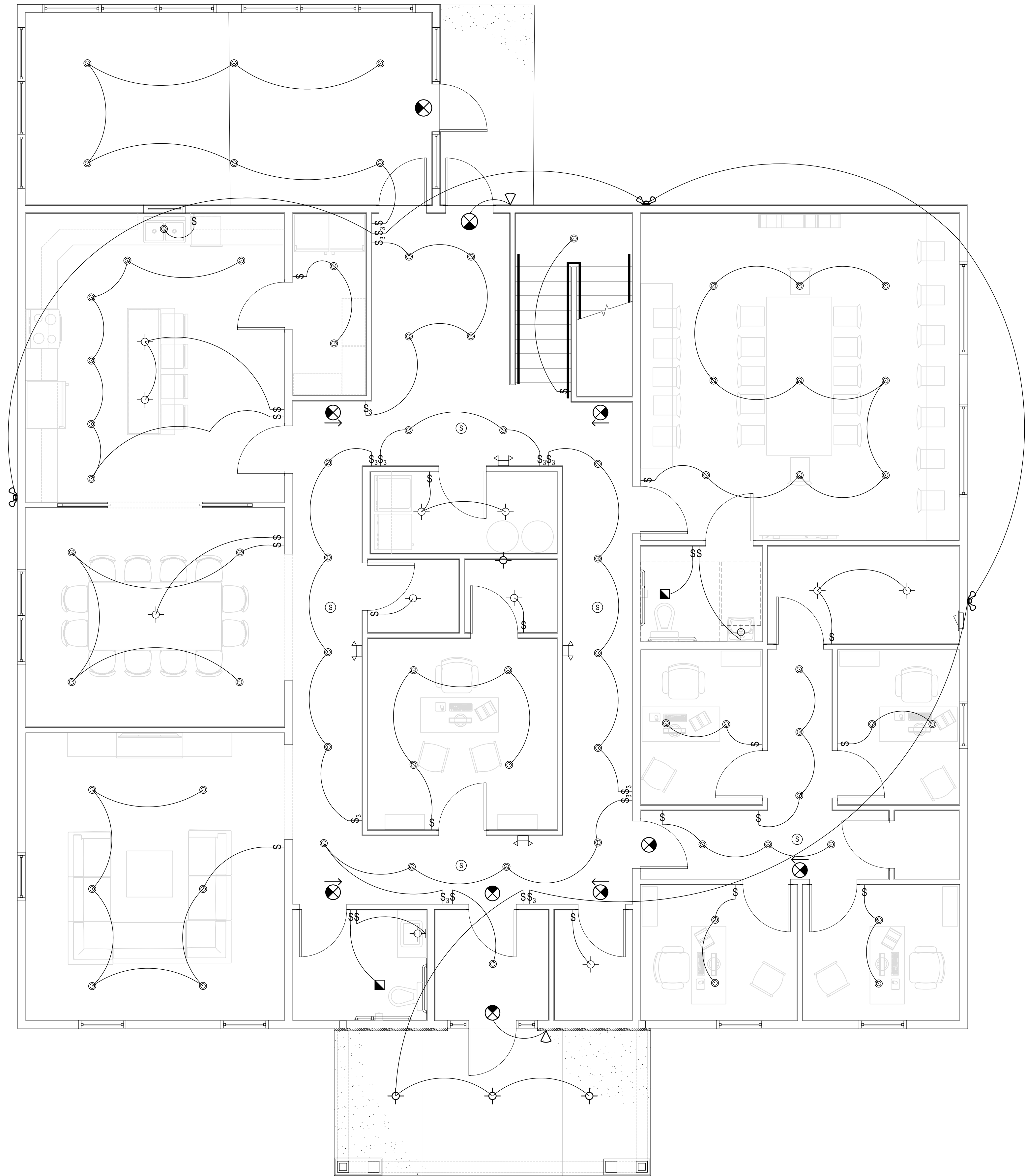
# General Notes

1. THIS DRAWING IS FOR DIAGRAMMATIC PURPOSES ONLY; ALL FINAL FIXTURES TO BE SELECTED AND PLACED AS SELECTED BY OWNER.
2. E.C. TO FIELD VERIFY EXISTING ELECTRICAL SERVICE AND UPGRADE AS REQUIRED FOR NEW ELECTRICAL DEMAND.
3. E.C. TO FIELD VERIFY EXISTING PANEL SIZES AND CONFIGURATION AND REPLACE AND/OR REWORK AS REQUIRED FOR NEW ELECTRICAL DEMAND.
4. ALL NEW ELECTRICAL INSTALLATION SHALL MEET THE STANDARDS AND GUIDELINES ESTABLISHED BY THE N.E.C.
5. E.C. SHALL PROVIDE ELECTRICAL PANEL SCHEDULE AND RISERS IF REQUIRED.

# Electrical Notes

1. E.C. SHALL FURNISH AND INSTALL ALL WIRING DEVICES AND EQUIPMENT, ETC. UNLESS OTHERWISE INDICATED, FOR THE COMPLETE ELECTRICAL SYSTEM.
2. THE DRAWINGS ARE DIAGRAMMATIC ONLY. THE CONTRACTOR SHALL NOT TAKE ADVANTAGE OF CONFLICT OR ERROR BETWEEN THE DRAWINGS AND SPECIFICATIONS, BUT SHALL REQUEST CLARIFICATION OF SUCH BEFORE INSTALLATION.
3. UNDER NO CIRCUMSTANCES SHALL A CONTRACTOR SCALE THE DRAWING FOR LOCATION OF EQUIPMENT AND WORK.
4. ALL APPLIANCES, MATERIALS AND EQUIPMENT SHALL BE INSTALLED AND CONNECTED IN ACCORDANCE WITH THE BEST ENGINEERING PRACTICE AND IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS.
5. MATERIALS USED THROUGHOUT SHALL BE NEW AND THE BEST OF THEIR RESPECTIVE KIND.
6. THE MINIMUM STANDARD FOR ALL ELECTRICAL WORK SHALL BE THE LATEST REVISION OF THE NATIONAL ELECTRICAL CODE.
7. ALL ELECTRICAL INFORMATION SHALL BE CHECKED AND VERIFIED BY OWNER AND CONTRACTOR PRIOR TO INSTALLATION.
8. ALL ELECTRICAL EQUIPMENT AND FIXTURES SHALL BE SELECTED BY OWNER. E.C. TO VERIFY INFORMATION PRIOR TO BID.
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12. E.C. TO RUN CONDUIT TO ALL EXTERIOR SIGNS, PARKING LOT LIGHTS AND GROUND ACCENT LIGHTS. COORDINATE LOCATIONS/ REQUIREMENTS W/ OWNER.
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14. E.C. TO PROVIDE & INSTALL CONDUIT FOR SECURITY SYSTEM. E.C. TO COORDINATE WITH SYSTEM SUPPLIER/INSTALLER.
15. ALL PENETRATIONS OF FIRE RATED CONSTRUCTION TO BE FIRESTOPPED AS PER ALL NATIONAL, STATE & LOCAL CODES.
16. SMOKE DETECTORS TO BE PLACED AT 30' O.C. (MAX).

ELECTRICAL SYMBOLS LEGEND	
SYMBOL	
Ⓢ	SWITCH
Ⓢ₃	3-WAY SWITCH (TYPICAL)
Ⓢ	EXHAUST FAN - VENT TO EXTERIOR
Ⓢ	SMOKE DETECTOR
Ⓢ	EXIT SIGN (DIRECTIONAL)
Ⓢ	EXIT SIGN (NON-DIRECTIONAL)
Ⓢ	EXIT SIGN W/ EMERGENCY LIGHT DUAL ADJ HEAD W/ BATT BACK-UP
Ⓢ	EMERGENCY LIGHT DUAL ADJ HEAD W/ BATT BACK-UP
Ⓢ	EMERGENCY LIGHT (TYPICAL) W/ BATT BACK-UP
Ⓢ	RECESSED CEILING LIGHT (AS PER OWNER)
Ⓢ	SURFACE MOUNT CEILING LIGHT (AS PER OWNER)
Ⓢ	WALL MOUNT LIGHT (AS PER OWNER)
Ⓢ	EXTERIOR WALL-MOUNTED LIGHT FIXTURE (AS PER OWNER)
Ⓢ	EXTERIOR LIGHT FIXTURE (AS PER OWNER)
Ⓢ	EXTERIOR SAFETY LIGHT FIXTURE (AS PER OWNER)



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 109B SEVENTY-SIX BLVD.  
 BERA, KENTUCKY 40403  
 PHONE: (859) 986-8493  
 EMAIL: CKD@CKDINC.NET

*CKD, inc.*

PROJECT: *Redeeming HOPE*

LOCATION: 1045 Richmond Road Berea, KY 40403

TITLE: First Floor Lighting Plan

**A** First Floor Lighting Plan  
 1/4" = 1'-0"

SHEET:  
**E-1.1**  
 Scale: As Noted



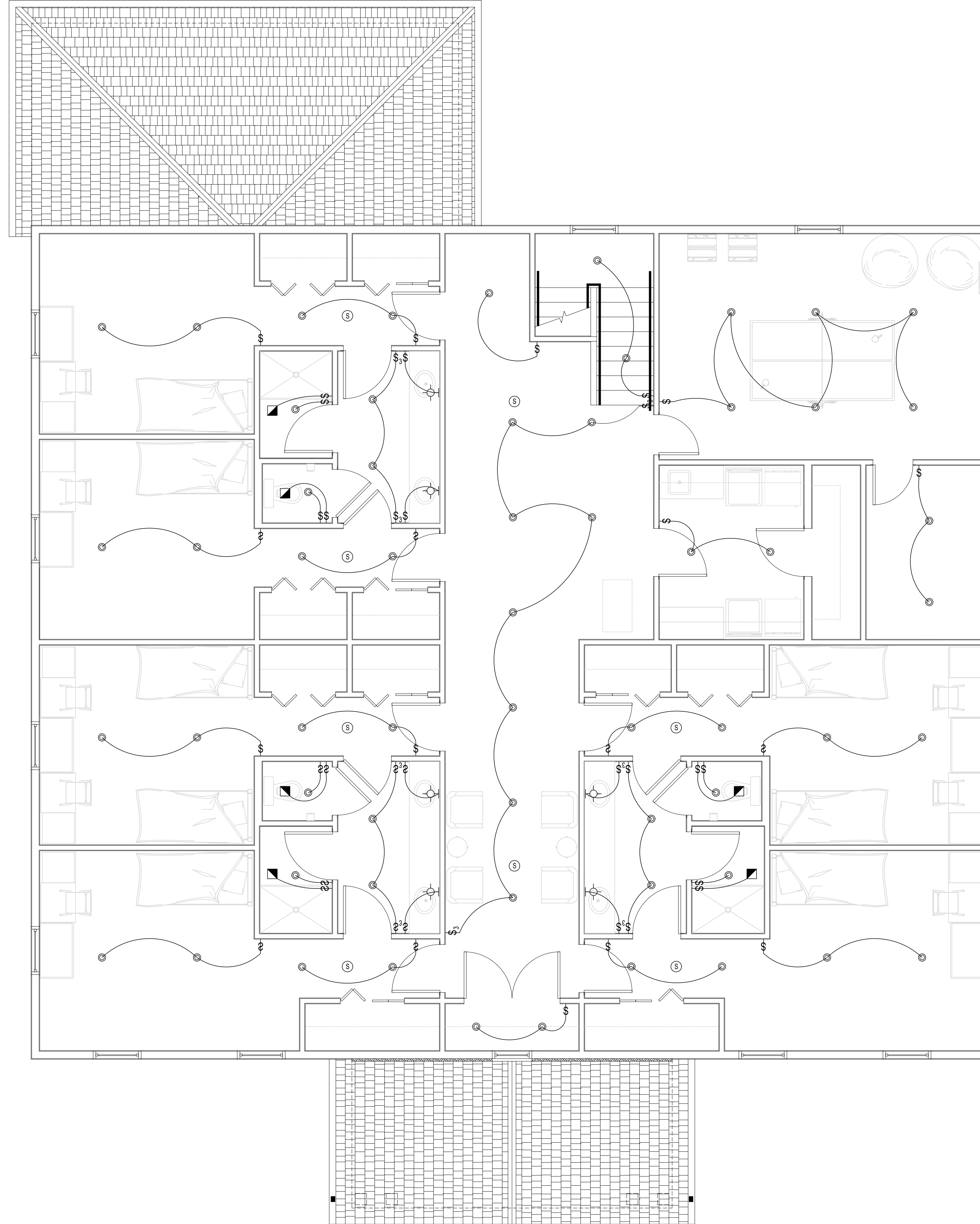
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 BERE, KENTUCKY 40403  
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PROJECT: **Redeeming HOPE**  
 LOCATION: **1045 Richmond Road Berea, KY 40403**  
 TITLE: **Second Floor Lighting Plan**

SHEET:  
**E-1.2**  
 Scale: As Noted

**A** Second Floor Lighting Plan  
 1/4" = 1'-0"